

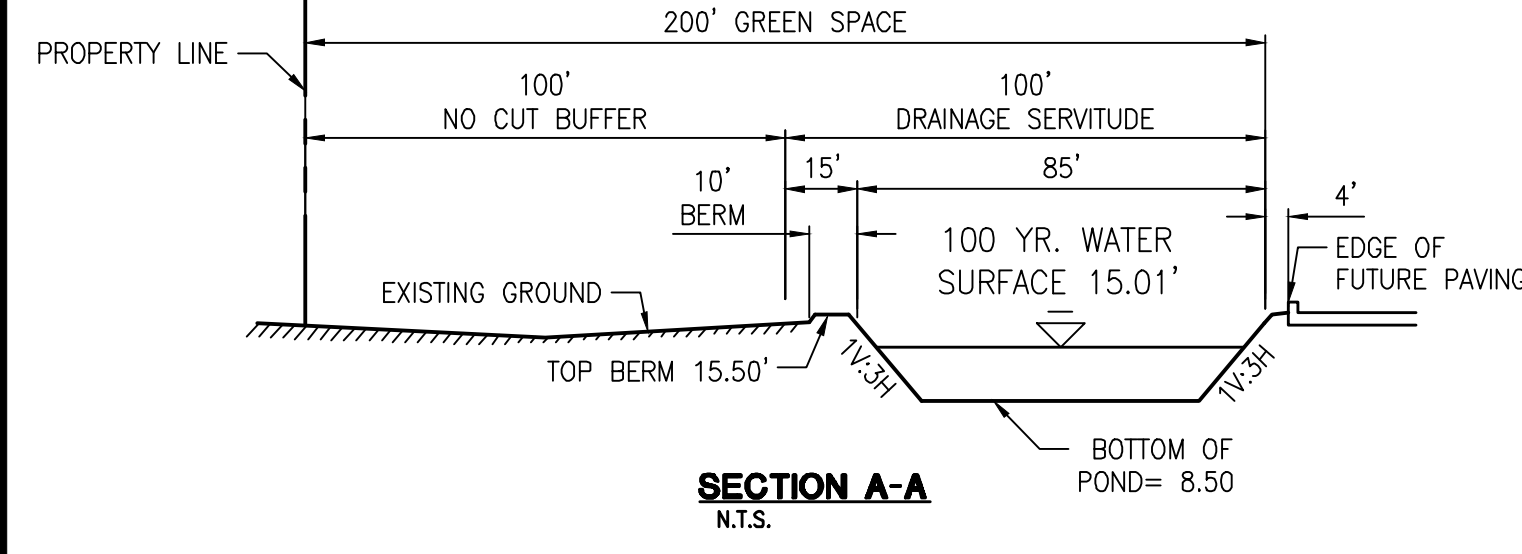
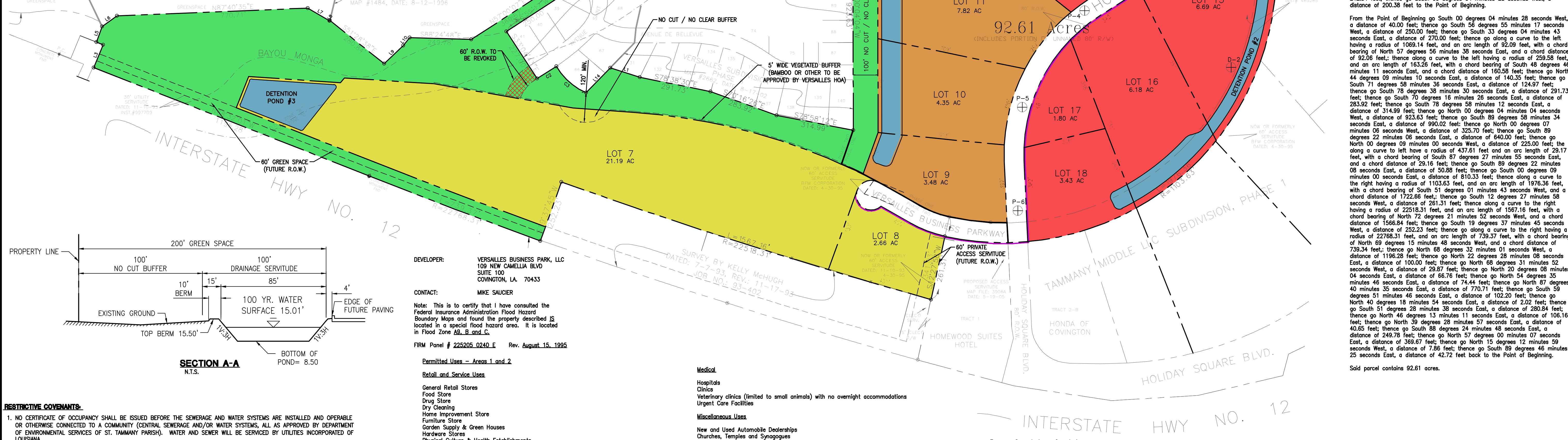
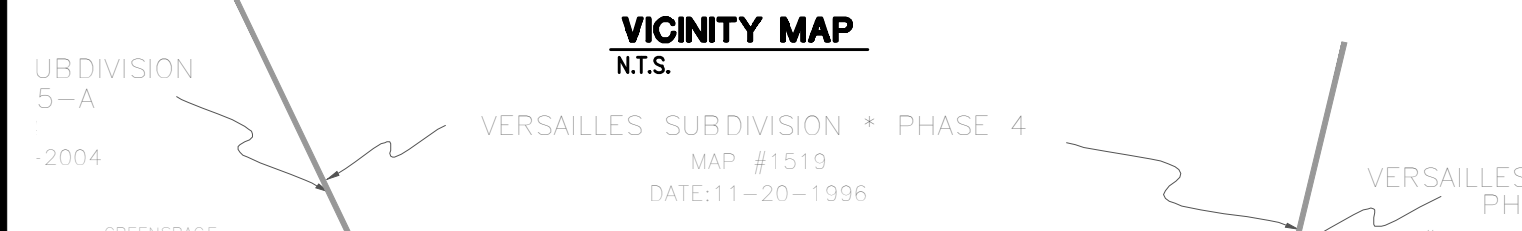
# CONCEPTUAL PLAN FOR REZONING VERSAILLES BUSINESS PARK A PLANNED UNIT DEVELOPMENT SECTIONS 15 & 16 TOWNSHIP 7 SOUTH - RANGE 11 EAST ST. TAMMANY PARISH, LOUISIANA

92.61 ACRES AREA	12 NO. OF LOTS	VARIABLES AVG. LOT SIZE
80 FT STREET RIGHT OF WAY	CONCRETE ROAD SURFACE	PLANNED UNIT DEVELOPMENT PROPOSED ZONING
CENTRAL WATER SYSTEM	CENTRAL SEWER SYSTEM	±2,810 LN FT STREET LENGTH
LAKE PONCHARTRAIN ULTIMATE SURFACE WATER DISPOSAL		

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	437.61'	29.17'	S87°27'55"E	29.16'
C2	1069.14'	92.09'	N57°56'38"E	92.06'
C3	259.58'	163.26'	S48°46'11"E	160.58'

LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	S71°58'36"E	124.97'	L8	N40°18'54"E	2.02'
L2	S89°22'28"E	50.88'	L9	N46°13'11"E	106.16'
L3	N22°28'08"E	100.00'	L10	N39°28'57"E	40.65'
L4	N68°31'52"W	29.87'	L11	N15°12'59"W	7.86'
L5	N20°08'04"E	66.76'	L12	S89°46'25"E	42.72'
L6	N54°35'46"E	74.44'	L13	S00°04'28"W	40.00'
L7	S59°51'46"E	102.20'	L14	N44°09'10"E	140.35'



**DEVELOPER:** VERSAILLES BUSINESS PARK, LLC  
109 NEW CAMELLIA BLVD  
COVINGTON, LA 70433

**CONTACT:** MIKE SAUCIER

Note: This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described is located in a special flood hazard area. It is located in Flood Zone AG, B, and C.

**FIRM:** Panel # 225205 0240 E Rev. August 15, 1995

### Permitted Uses - Areas 1 and 2

- Retail and Service Uses**
- General Retail Stores
  - Food Store
  - Drug Store
  - Dry Cleaning
  - Home Improvement Store
  - Furniture Store
  - Garden Supply & Green Houses
  - Hardware Stores
  - Physical Culture & Health Establishments
- Offices**
- General, multi-use office buildings including medical/professional/public
- Residential Uses**
- Dwelling units located above business / office space not to exceed two stories in height.
  - Assisted and Independent Senior Living
- Light Manufacturing and Assembly**
- Generally, those light manufacturing uses listed below, conducted in enclosed buildings, which do not create any danger to health and safety in surrounding areas and which do not create any offensive noise, vibration, smoke, dust, lint, odor, heat or glare, than that which is generally associated with light industries of the types specifically permitted below:

### RESTRICTIVE COVENANTS

- NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED BEFORE THE SEWERAGE AND WATER SYSTEMS ARE INSTALLED AND OPERABLE OR OTHERWISE CONNECTED TO A COMMUNITY (CENTRAL SEWERAGE AND/OR WATER SYSTEMS, ALL AS APPROVED BY DEPARTMENT OF ENVIRONMENTAL SERVICES OF ST. TAMMANY PARISH). WATER AND SEWER WILL BE SERVICED BY UTILITIES INCORPORATED OF LOUISIANA.
- CONSTRUCTION OF ANY NATURE, INCLUDING FENCES, IS PROHIBITED IN PARISH DRAINAGE EASEMENTS OR STREET RIGHT OF WAY.
- NO NOXIOUS OR OFFENSIVE ACTIVITY SHALL BE CARRIED ON UPON ANY LOT, NOR SHALL ANYTHING BE DONE THERE ON WHICH MAY OR MAY NOT BECOME AN ANNOUNCEMENT OR NUISANCE TO THE NEIGHBORHOOD, PARTICULARLY THE USE OF LOTS AS SUMPS OR JUNK CAR STORAGE.
- NO MOBILE HOMES WILL BE PERMITTED IN THIS SUBDIVISION.
- NO LOT WILL BE FURTHER SUBDIVIDED WITHOUT THE PRIOR APPROVAL OF THE PARISH OF ST. TAMMANY.
- EACH RESIDENCE OR ESTABLISHMENT WITHIN THE SUBDIVISION SHALL SUBSCRIBE AND BE SUBJECT TO THE WATER, SEWERAGE AND SANITATION (GARBAGE AND REFUSE DISPOSAL) SERVICES PROVIDED.
- THE DEVELOPER AND ASSOCIATED PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL GREEN SPACE AND DETENTION PONDS. THE PARISH IS NOT RESPONSIBLE FOR OPERATION AND MAINTENANCE OF THE DETENTION PONDS.

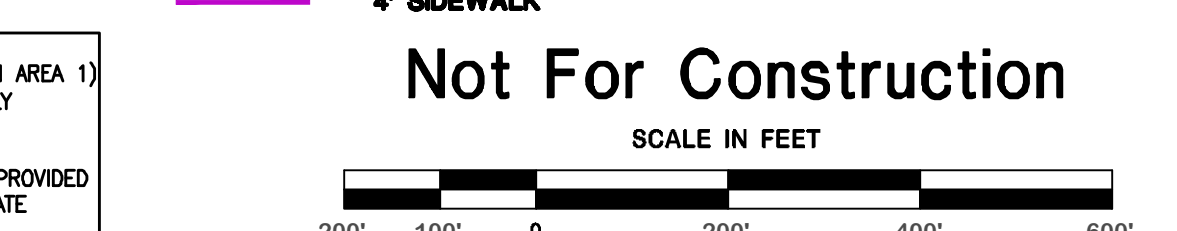
### DEVELOPMENT NOTES

- THE MINIMUM FLOOR ELEVATION SHALL BE ESTABLISHED BY NATIONAL FLOOD ELEVATION CRITERIA (FEMA) AND/OR ST. TAMMANY PARISH.
- LANDSCAPING TO MEET ALL ST. TAMMANY PARISH REQUIREMENTS
- ROAD EXTENSIONS SHOWN HEREIN ARE NOT CONSIDERED FINAL DESIGN LOCATIONS. ROAD LOCATIONS AND THEIR RIGHT OF WAYS ARE SUBJECT TO FINAL ADJUSTMENT.
- ALL STREETS AND ASSOCIATED RIGHT OF WAYS IN THE ENTIRE PUD DEVELOPMENT SHALL BE CONSTRUCTED PURSUANT TO ST. TAMMANY PARISH STREET CONSTRUCTION STANDARDS, AND SHALL BE DEDICATED TO ST. TAMMANY PARISH.
- 50% OF LAKE ACREAGE IS INCLUDED IN OPEN SPACE CALCULATIONS.
- LIGHTING WILL MEET ALL ST. TAMMANY PARISH REQUIREMENTS.
- THE REQUIRED NUMBER OF PARKING SPACES SHALL BE PROVIDED FOR EACH USE AS PER THE ST. TAMMANY PARISH ZONING ORDINANCE.
- ONE CLASS A TREE IS PROPOSED TO BE INCLUDED IN EACH PARKING ISLAND AT THE END OF EACH PARKING ROW AND EVERY TWELVE PARKING SPACES. SOME ISLANDS AND MEDIANS WILL BE RELATED IN ORDER TO PRESERVE THE EXISTING TREES.
- TREE PLANTING REQUIREMENTS DO NOT PERTAIN TO THE REAR LANDSCAPE BUFFERS OF LOTS 9, 10, & 11 THAT ARE ADJACENT TO THE "NO CUT / NO CLEAR BUFFER".
- SIGNAGE SHALL CONFORM TO ST. TAMMANY PARISH STANDARDS.
- DEVELOPER AGREES TO PROVIDE A COPY OF ANY CLEARING PERMITS ON LOTS 9-11 TO VERSAILLES HOA UPON SUBMISSION TO ST. TAMMANY PARISH.
- DEVELOPER AGREES TO PROVIDE A COPY OF WORK ORDER REQUEST FOR WORK WITHIN "NO CUT/NO CLEAR BUFFER" AREA TO VERSAILLES HOA UPON SUBMISSION TO ST. TAMMANY PARISH.
- A 6' SECURITY FENCE WILL BE CONSTRUCTED ALONG THE NORTHERN AND WESTERN BOUNDARY OF LOT 7.
- THERE SHALL BE A SPECIAL BUILDING SETBACK ALONG THE NORTHERN BOUNDARY OF LOT 7 THAT VARIES FROM 35 TO 50 FEET IN WIDTH.

- Miscellaneous Uses**
- New and Used Automobile Dealerships
  - Churches, Temples and Synagogues
  - Restaurants and Restaurants with lounges
  - Branch Banks and Financial Institutions
  - Public and Private Auditoriums
  - Wholesale merchandise broker/agent including associated offices and storage facilities.
  - Funerary Home and Mausoleum
  - Day-Care Centers, Nursery Schools, pre-schools and kindergartens
  - Radio, Television and Motion Picture Studios and Broadcasting Stations
  - Kennels, Lodges, Fraternal & Religious Institutions, Meeting Halls
  - Hotels and Motels
  - Parcel post delivery stations
  - Service establishments catering to commerce and industry including professional office, linen supply, communication services, business machine services, canteen services, employment agencies, sign companies and similar uses.
  - Warehousing, wholesaling or distribution establishments (see size limitations in Areas 2 & 3)
  - Nightclubs, Bars and Lounges
  - Funeral Homes
- Prohibited Uses in Area 2**
- Retail uses in excess of 15,000 SF
  - Police and Fire Stations
  - Hospitals
  - Automotive service station
  - Warehousing, Wholesaling & Distribution operations exceeding 50,000 SF
  - Deliveries between 7:00 PM and 7:00 AM prohibited for allowed warehouse, wholesaling & distribution operations
  - Lighted recreational fields
  - New and Used Car Dealerships
  - Night Clubs, Bars, and Lounges
- Additional Prohibited in Area 2 only**
- Hotels & Motels (except allowed on Lot 9 with additional "No Cut/No Clear" buffering of 25')
  - Public or Private Auditoriums
- Permitted Uses - Area 3**
- Residential Uses**
  - Multi-family, including Club House, gym, pool, mallroom, dog park
  - Max Number of Units: 302 - FOR LOT 7 ONLY
- Prohibited Uses and Structures**
- Chemical, paints, and fertilizer manufacturing
  - Disposal and or permanent storage of hazardous Waste.
  - Explosive manufacturing or storage.
  - Landfills for the disposal of solid wastes, hazardous, and / or toxic substances.
  - Paper pulp manufacturing
  - Petroleum refining
  - Mobile homes for residential purposes
  - Repair establishment for the repair of new and used trucks / automobiles (except as associated with a new or used automobile dealership), motorcycles, and tractors, mobile homes, boats, automotive parts, and accessories, heavy machinery and equipment, farm building supplies, monuments and similar uses.
  - Transportation terminal including motor, bus or truck.
  - Mobile Homes sales.

- Funerary Crematoriums, Cemeteries**
- Drive-In Movie Theaters
  - Storage facilities associated with insurance companies or related offices for wrecked or impounded vehicles.
  - Passenger Transportation Terminals
  - Auto Body Shops (except as associated with a new or used automobile dealership)
  - Horse Riding and Training Stables
  - Kennels.
  - Public Elementary and High Schools
- Prohibited Uses in Area 2**
- Retail uses in excess of 15,000 SF
  - Police and Fire Stations
  - Hospitals
  - Automotive service station
  - Warehousing, Wholesaling & Distribution operations exceeding 50,000 SF
  - Deliveries between 7:00 PM and 7:00 AM prohibited for allowed warehouse, wholesaling & distribution operations
  - Lighted recreational fields
  - New and Used Car Dealerships
  - Night Clubs, Bars, and Lounges
- Additional Prohibited in Area 2 only**
- Hotels & Motels (except allowed on Lot 9 with additional "No Cut/No Clear" buffering of 25')
  - Public or Private Auditoriums

AREA ONE (PHASE 1)	LOTS 12-18	SETBACKS & LANDSCAPE BUFFERS	FRONT - 25'	REAR - 10'	SIDE - 10'	MAXIMUM HEIGHT - 100'	26.64 Acres
AREA TWO (PHASE 1)	LOTS 9-11	SETBACKS & LANDSCAPE BUFFERS	FRONT - 25'	REAR - 10'	SIDE - 10'	MAXIMUM HEIGHT - 100'	18.51 Acres
AREA THREE (PHASE 2)	LOTS 7&8	SETBACKS & LANDSCAPE BUFFERS	FRONT - 25'	REAR - 10'	SIDE - 10'	MAXIMUM HEIGHT - 100'	23.85 Acres
GREENSPACE/DETENTION		(MINIMUM REQ. 25% (23.15 AC.))					23.20 Acres (25.05%)



**4' SIDEWALK**

**Not For Construction**

SCALE IN FEET

200' 100' 0' 200' 400' 600'

NOTE: ALL BUILDINGS WITH A PROPOSED HEIGHT OF 100' (TO BE LOCATED IN AREA 1) SHOULD BE LOCATED AT LEAST 400' FROM THE NEAREST SINGLE FAMILY RESIDENTIAL PROPERTY LINE.

PROPERTY DESCRIPTION SHOWN HEREON WAS TAKEN FROM A SKETCH PROVIDED TO THIS COMPANY AND DOES NOT IN ANY WAY CONSTITUTE AN ACCURATE BOUNDARY LEGAL DESCRIPTION OF PROPERTY.

REVISION	BY

**DUPONTIS DESIGN GROUP, PC**  
CIVIL ENGINEERING - ARCHITECTURE

**DDG**  
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THIBODAUX | COVINGTON | HOUSTON | BATON ROUGE | LOUISIANA

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

STAMP

MAJOR AMENDMENT TO:  
VERSAILLES BUSINESS PARK  
SECTION 15 & 16 TOWNSHIP 7  
SOUTH - RANGE 11 EAST  
ST. TAMMANY PARISH, LOUISIANA  
FOR VERSAILLES BUSINESS PARK, LLC.  
COVINGTON, LA.

**PUD-10**

DRAWN DGS  
CHECKED THB  
ISSUED DATE 2-13-17  
ISSUED FOR PUD AMENDMENT  
PROJECT NO. 16-397  
FILE 16-397 PUD-10  
SHEET