

Jefferson Industrial Park 44 Acres

CERTIFIED BY
ENTERGY
ARIZONA

SELECT
SITE

CERTIFIED BY
Entergy
Arkansas



*Recertified
February 2024*



Jefferson Industrial Park – 44 acres

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DISCLAIMER

Entergy Arkansas, LLC (“EAL”), nor anyone acting on behalf of EAL, makes no representations or warranties of whatsoever nature, directly or indirectly, express or implied, as to the site described herein or any improvements located thereon including, without limitation, the physical conditions or attributes of the site or improvements; condition of title to the site or improvements; suitability of the site or improvements for any particular purposes; compliance with federal, state or local laws, regulations or orders and applicable zoning, building and other legal requirements; and/or the correctness and completeness of the contents contained within these materials.

Recipients of these materials must perform their own investigation and due diligence concerning all aspects of the site and/or improvements, financial, tax, and business matters associated therewith so as to enable them to evaluate the merits and risks of the site and to make any informed decision with respect thereto.



General Information

Site Name: Jefferson Industrial Park

Site Address: 5320 Jefferson Parkway, Pine Bluff, Arkansas

Owner Contact Name: Economic Development Alliance for Jefferson County

Economic Development Organization Contact Information: Allison Thompson, President and CEO, EDAJC
510 Main Street
Pine Bluff, AR 71603
870-535-0110
allison@jeffersoncountyalliance.com

Site Size: 44.42 acres

Site Control Document: Site is owned by the Economic Development Alliance of Jefferson County.

Aerial Site Location Map: See attachment G-1 for detail.

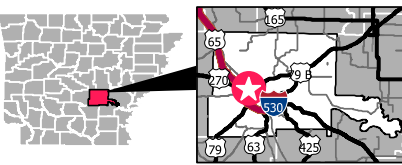


JEFFERSON INDUSTRIAL PARK - 44 ACRES / AERIAL

G-1



JEFFERSON COUNTY



LEGEND

- Property Boundary
- Railroads

SOURCE

Highways: Primary&Secondary Roadways, Tiger 2021
Railroads: Federal Railroad Administration, Bureau of Transportation Statistics, ESRI, 2021

SCALE

0 400 800 Feet
0 96 192 Meters

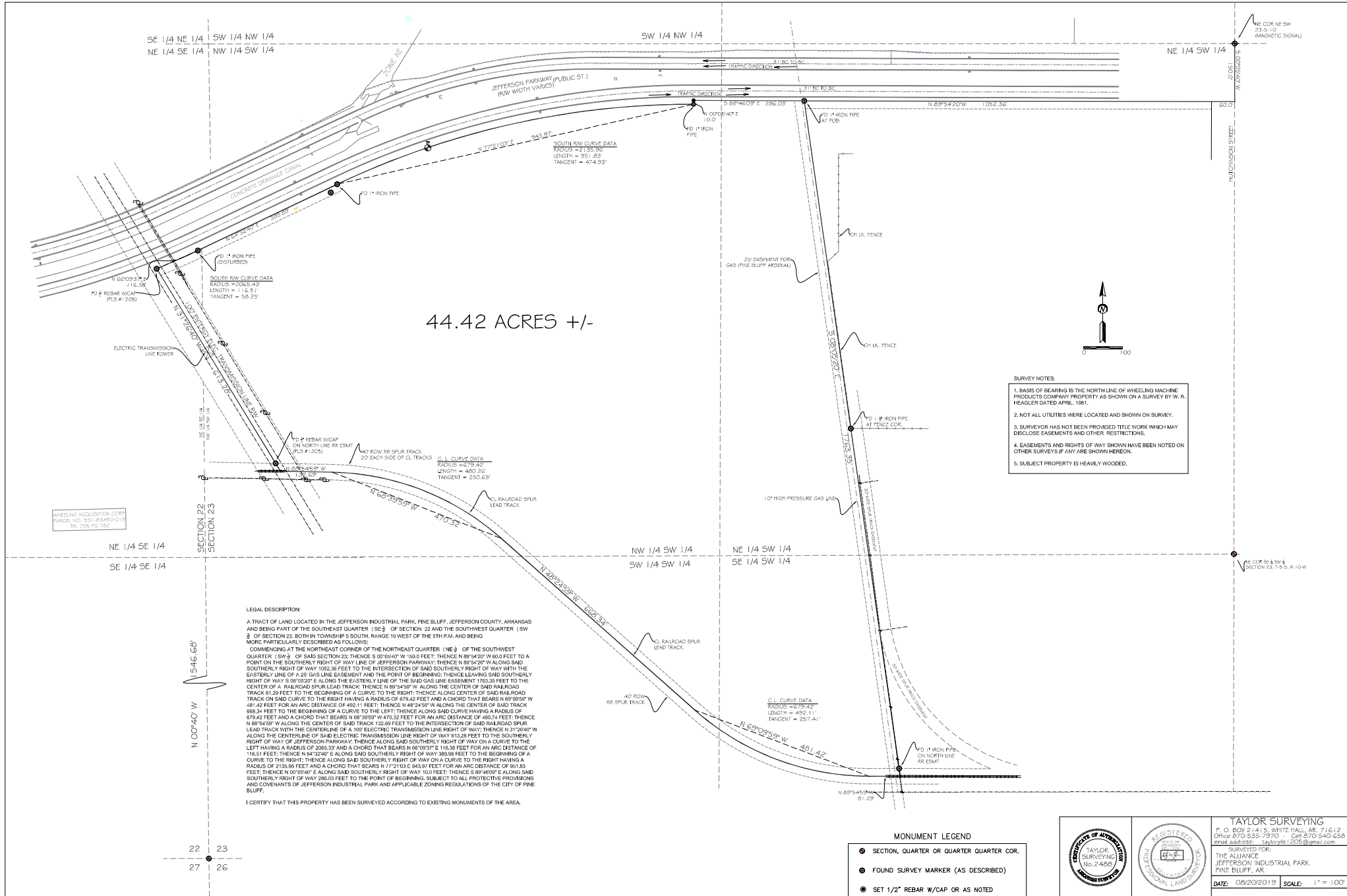
N
Date: 04/2022
Created by: RPG

These drawings are provided merely to assist in economic development efforts. The Entergy Companies make no representations or warranties whatsoever regarding the accuracy or completeness of any information contained herein nor the condition or suitability of any properties. Users should direct inquiries about any property to the listing broker for that property.

Site Characteristics

Acreage:	44.42 acres
Dimensions:	1750' x 1720' x 1790' x 575'
Previous Use:	Timber
Fire Rating:	Class 2
Distance to Fire Station:	4.2 miles
Distance to Nearest Interstate and 4-lane Highway and Access Points:	2 miles to Interstate 530
Road Frontage, Type and Weight Capacities:	Site is bordered by Jefferson Parkway (main Industrial Park thoroughfare) on the north and Hutchinson Street on the east. No weight limits.
Distance to Nearest Rail:	The Union Pacific mainline is approximately 0.25 miles away. A UP spur runs the length of the site's southern border.
Distance to Nearest Commercial Airport:	38 miles to Little Rock National Airport 11 miles to Pine Bluff Regional Airport
Distance to Nearest Port Facility:	10 miles to public terminal services at Port of Pine Bluff
Distance from Retail or Central Business District:	1 mile to Woodlands Plaza Shopping Center and 6 miles to Pine Bluff Central Business District
Site Type:	Industrial Park
Site Survey:	See Attachment S-1





Cost Estimates and Timing

Cost per Acre: \$23,500

Special Timing Considerations: None

Clearing Cost: \$177,680. See attachment C-1 for estimate.

Grading Cost: Included in Cut/Fill cost. See attachment C-1 for estimate.

Cut/Fill Cost: \$250,000. See attachment C-1 for estimate.

Utility Extension or Upgrade Costs: Electric – Service at site. Upgrades would be contingent on customer requirements.

Gas – Service at site. Upgrades would be contingent on customer requirements.

Sewer – Service at site. Upgrades would be contingent on customer requirements.

Water – Service at site. Upgrades would be contingent on customer requirements.

Telecom/Fiber – Service at site. No upgrades necessary.

Rail – Rail at site. A spur would be required for specific customer needs.



QUOTE

44 Acre Industrial Park Site

Economic Development Alliance

January 25, 2024

- Clearing 44.42 Acres in Industrial Park. Tree removal, stump removal and burning on site. \$4,000.00 per acre - \$177,680.00
- Site leveling with dirt pans using on-site material - \$250,000.00

TOTAL - \$427,680.00

Assumptions: Descriptions and dimensions provided by EDAJC. Estimate based on the provided dimensions and pictures plus an on-site visit but no survey.

Prepared by Trey Ashcraft 870-267-3630
treya@design1landscaping.com

Environmental

Wetlands Screening: There were no wetlands reflected in the National Wetland Inventory as reflected in the attached. See attachment E-1 for detail.

A federal nexus (federal dollars involved/ requested, federal permit required, or federal land decision required in project area) may result in a more scrutinized review of this category.

Floodplain Delineation: The full site is located in FEMA Zone X, which is above the 100-year flood plain. See attachment E-2 for detail.

Historical and Cultural Review: According to the letter dated October 5, 2019, from the Arkansas Historic Preservation Program, no documented historic properties exist on the site. Refer to AHPP Tracking Number 104546. See attachment E-3 for detail. A federal nexus may result in a more scrutinized review of this category.

Endangered Species: According to the letter and IPaC dated January 25, 2024, from the U.S. Department of Interior Fish and Wildlife Service, there are no critical habitats within the project area under the Arkansas Field Office jurisdiction. See attachment E-4 for detail. A federal nexus may result in a more scrutinized review of this category.

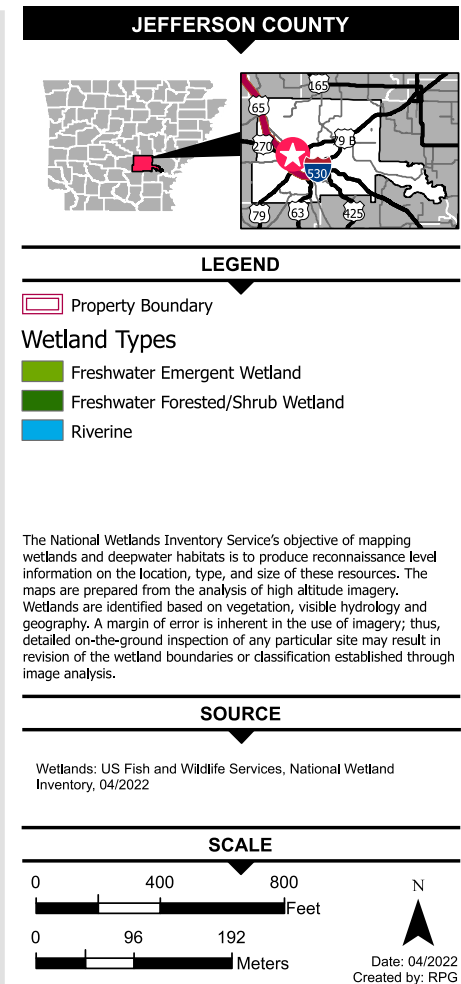
Environmental Phase I (and Phase II if required): As reported in the Phase I Environmental Assessment on September 5, 2019, by McClelland Engineering Consultants, no recognized environmental concerns exist for this site. See attachment E-5 for detail.

Stormwater Retention Plan: City of Pine Bluff Storm Water Ordinance No. 6191 provides the rules and procedures to meet the Clean Water Act. See attachment E-6 for detail.



JEFFERSON INDUSTRIAL PARK - 44 ACRES / NATIONAL WETLAND INVENTORY

E-1



Wetland classification codes <https://www.fws.gov/node/264828>.

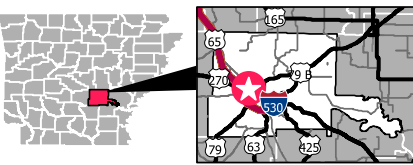
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JEFFERSON INDUSTRIAL PARK - 44 ACRES / FEMA FLOOD HAZARDS

E-2



JEFFERSON COUNTY



LEGEND

- Property Boundary
- Base Flood Elevation
- Flood Zone, Sub Type
 - A
 - AE
 - AE, FLOODWAY
 - X, 0.2 PCT ANNUAL CHANCE FLOOD HAZARD
 - X, AREA OF MINIMAL FLOOD HAZARD

SOURCE

Flood: FEMA National Flood Hazard Layer, 04/2022

SCALE

0 400 800 Feet

0 96 192 Meters

N

Date: 04/2022
Created by: RPG

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THE DEPARTMENT OF ARKANSAS
HERITAGE

Asa Hutchinson
Governor

Stacy Hurst
Secretary
Parks, Heritage & Tourism

Arkansas Arts Council

Arkansas Historic
Preservation Program

Arkansas Natural
Heritage Commission

Arkansas State Archives

Delta Cultural Center

Historic Arkansas Museum

Mosaic Templars Cultural Center

Old State House Museum



1100 North Street
Little Rock, AR 72201

(501) 324-9880
fax: (501) 324-9184

info@arkansaspreservation.org
www.arkansaspreservation.com

An Equal Opportunity Employer

October 3, 2019

Ms. Nancy Lee McNew
Vice-President of Economic Development
Economic Development Alliance of Jefferson County, Arkansas
P.O. Box 5069
Pine Bluff, AR 71611

RE: Jefferson County — White Hall
Section 106 Review — EDA
Proposed Undertaking — 49.5-Acre Pine Bluff Industrial Park
Development
AHPP Tracking Number: 104546

Dear Ms. McNew:

The staff of the Arkansas Historic Preservation Program (AHPP) reviewed the records for previous investigations and significant archaeological, architectural, or historic resources within or proximal to the proposed area of potential effects (APE) in Section 23, Township 5 South, Range 10 West in Jefferson County. Thank you for the additional information requested by the AHPP.

There are no documented historic properties within the tract demarcated on the map provided in your submission. In the event this tract is later associated with a federal undertaking as defined in 36 CFR § 800.16(y), please forward the required information to the AHPP for our review and comment.

Tribes that have expressed an interest in the area include the Caddo Nation (Ms. Tamara Francis), the Cherokee Nation (Ms. Elizabeth Toombs), the Chickasaw Nation (Ms. Karen Brunso), the Choctaw Nation of Oklahoma (Ms. Madison Currie), the Jena Band of Choctaw Indians (Ms. Alina J. Shively), the Muscogee (Creek) Nation (Ms. Corain Lowe-Zepeda), the Osage Nation (Dr. Andrea Hunter), the Quapaw Nation (Mr. Everett Bandy), and the Shawnee Tribe (Ms. Tonya Tipton). We recommend consultation in accordance with 36 CFR § 800.2(c)(2).

Thank you for the opportunity to review this proposed project. Please refer to the AHPP Tracking Number listed above in all correspondence.

Sincerely,

Scott Kaufman
Director, AHPP

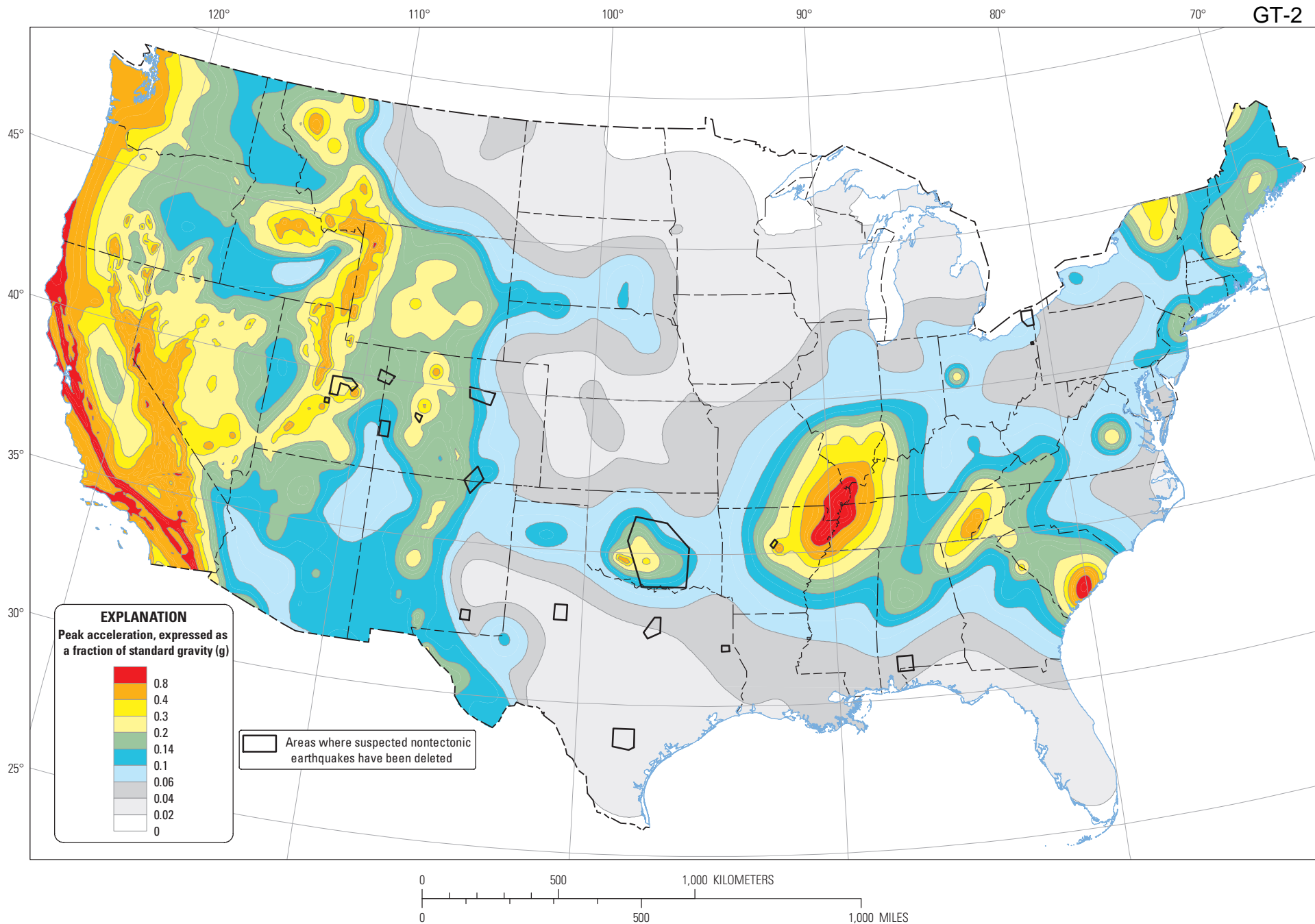
cc: Dr. Ann Early, Arkansas Archeological Survey

Geotechnical

Soils Report: See attachment GT-1 for detail. The soils report provided is from the site where Highland Pellets is now located, approximately 1500 feet north across Jefferson Parkway.

Seismic Rating: Pine Bluff is located in Zone 1 in the historical seismic zone map, which has the least amount of seismic activity.

The United State Geological Survey provides National Seismic Hazard Maps which are derived from seismic hazard curves calculated on a grid of sites across the United State that describe the annual frequency of exceeding a set of ground motions. Pine Bluff is in one of the lower ratings of probability of exceeding peak ground acceleration. See map GT-2 for more detail.



Two-percent probability of exceedance in 50 years map of peak ground acceleration

Zoning/Permitting

Copy of Restrictive Covenants: See Protective Covenants Jefferson Industrial Park as attachment Z-1 for detail.

Current Classification and Proposed Zoning (if different) to Conform with Intended Use: I-4 Heavy Industrial

Copy of Zoning Ordinance: See City of Pine Bluff Zoning Ordinance Sec. 29-117. - I-4 Heavy Industrial as attachment Z-2 for detail.

Explanation of Process to Change Zoning: N/A

PROTECTIVE COVENANTS JEFFERSON INDUSTRIAL PARK



1. The property herein conveyed shall be used only for industrial, manufacturing, warehousing or distribution purposes. It shall not be used for residential purposes, nor for the retail sale of any merchandise or services, except that any occupant of the property, either owner or tenant, may sell at retail those products which are manufactured or handled at wholesale by the occupant. The financing of the sale of such merchandise is expressly permitted, as it is the retail sale of food, beverage and other such convenience items to occupant's employees so long as these items are not offered for sale to the general public. The purpose of this restriction is to prohibit the operation on this property of any business devoted primarily to the retail sale of merchandise or the furnishing of services to the general public.
2. The Grantee shall not use any of the land or premises for the manufacture, storage, distribution or sale of any materials or products which shall increase the insurance rates of the adjoining property or for any purposes which constitute a nuisance in the generally accepted definition of that term, and the Grantee agrees that it will use said property in compliance with all laws of the State of Arkansas and of the United States.
3. Any building or other structures erected on the property shall be of masonry (brick and mortar) construction, steel construction, or its equivalent. Wooden or frame construction is prohibited insofar as its use in an exposed or visible position is concerned. Grantee shall submit detailed plans and specifications for initial construction and for any exterior alteration, modification or additional construction to Grantor prior to the commencement of construction and Grantor's written approval shall be proof of compliance with this restriction.
4. Buildings erected within the Jefferson Industrial Park shall not be closer than seventy-five (75) feet from the right-of-way line of primary arterial streets, fifty (50) feet from other street rights-of-way, and twenty-five (25) feet from side property lines of individual tracts. Irrespective of compliance with these setback requirements, however, truck docks must be so situated that trucks, tractors, trailers or any combination thereof may not, while being either loaded or unloaded, project beyond the right-of-way of any street bordering the property.
5. Billboard posters and other advertising signs are prohibited except those signs which advertise the property owner's business or products.
6. No goods, equipment, supplies, or other materials shall be stored in the open except on the rear two-thirds (2/3) of said property, and then only when such open storage is fenced with a screening fence at least six (6) feet in height or an adequate height to screen stored materials from public street view. For those lots having irregular depths, the open storage area boundary line shall parallel the front street and its location shall be determined, with Grantor approval, by using the depth of the shorter side property line. All fencing for screening, security or other purpose shall be attractive in appearance and shall be of an all-metal industrial type fence of galvanized or non-ferrous material.
7. It shall be the responsibility of the property owner to provide parking space for employees, customers and visitors, and the public street shall not be used for parking. The surface of all driveways and permanent parking areas shall be of concrete, asphalt or other bituminous material. It shall be Grantee's responsibility to extend driveways to existing or presently projected streets at no expense to Grantor, even though part of this construction is within the street right-of-way.
8. The owner of said property shall keep the premises, buildings and improvements in a safe, clean, healthful and presentable condition at all times and shall comply in all respects with all government, health and police requirements.
9. Grantee agrees to landscape that portion of the property between the building or buildings and the curb line of any abutting streets, including any such property which may be in a street or utility right-of-way, and to remove undergrowth, weeds, debris, rubbish, trash, excess dirt and any other unsightly material from the remainder of the property, at no expense to Grantor.
10. No buildings or other structures shall be built or maintained which cover more than one-third (1/3) of the total land area in the above described plot.

Sec. 29-117. - I-4 industrial.

- (a) *General description and intent.* This section applies to the I-4 industrial district. This industrial district is intended to provide for industrial, manufacturing, warehousing or distribution purposes in Jefferson Industrial Park and the Harbor Industrial District.
- (b) *Permitted uses.* Industrial, manufacturing, warehousing or distribution facilities are permitted in this district.
 - (1) Use permitted on review: Day care center.
- (c) *Use limitations.* Any establishments devoted primarily to the retail sale of merchandise or to the furnishing of services to the general public is prohibited. No land or premises shall be used for the manufacture, storage, distribution or sale of any materials or products which shall increase the insurance rates of adjoining property or for any purposes which constitute a nuisance in the generally accepted definition of that term.
- (d) *Parking requirements.* On-site parking space for employees, customers and visitors shall be provided. Public streets shall not be used for parking. The surface of all driveways and permanent parking areas shall be of concrete, asphalt, or other bituminous material. Parking requirements outlined in article V, division 2 shall not be applicable to this district.
- (e) *Loading and unloading facilities.* Truck docks must be so situated that trucks, tractors, trailers or any combination thereof may not, while being either loaded or unloaded, project beyond the right-of-way of any street bordering the property.
- (f) *Screening and landscaping.* Screening and landscaping shall be provided pursuant to respective restrictive covenants.
- (g) *Signs.* Billboard posters and other advertising signs are prohibited, except those signs which identify the property owner's facility.
- (h) *Area regulations.* Buildings erected within this district shall not be closer than seventy-five (75) feet from the right-of-way line of primary arterial streets, fifty (50) feet from other street rights-of-way and twenty-five (25) feet from side property lines of individual tracts.

(Ord. No. 4807, as amended, § 22(A), 2-2-81; Ord. No. 6092, § 2E, 6-7-04)

11. The Grantee herein agrees to commence construction of a building covering at least _____ square feet within _____. However, until such time as buildings covering at least one-sixth (1/6) of the total ground area herein conveyed have been constructed, Grantee is prohibited from selling any of said land on which buildings have not been constructed without first offering said excess land to the Economic Development Alliance of Jefferson Co., Ark., at the price paid by Grantee. After written notice of the intention of Grantee to sell has been received by Grantor, Grantor shall have a period of ninety (90) days in which to exercise the right of repurchase. Whenever buildings covering one-sixth (1/6) of the total ground area have been constructed by Grantee, this clause shall become null and void and Grantor then waives any further right as to the resale of the property. All other restrictions, however, shall remain in full force and effect as separately provided.
12. Grantor agrees to provide paved street(s), water, power, gas, telephone and sanitary sewer lines in the easement or right-of-way adjoining Grantee's property at no cost to Grantee.
13. Grantor offers no assurance as to the provision of rail service to the property herein conveyed, it being the responsibility of the Grantee to negotiate for this service with the Union Pacific and Burlington Northern Companies.
14. Because of the difficulty in prescribing in advance the location of all utility, street and rail easements which may ultimately be required, Grantee herein agrees to offer every reasonable cooperation in providing such easements as may be required and as such may affect this property. Grantee agrees to acquire the property subject to any easements which may affect it, provided these easements have been clearly indicated on the engineer's survey of the property which has been furnished to Grantee. Grantee agrees to file jointly with other landowners in Jefferson Industrial Park a plat of record when all properties within Jefferson Industrial Park are sold.
15. The Grantor herein, its successors and assigns, may enforce these restrictions either by restraining order or may prosecute at law or in equity a suit for damages or any other remedy which the Grantor, its successors and assigns, may have.
16. Invalidation of any of the foregoing conditions, restrictions or covenants by a court of competent jurisdiction in no way affects any of the other provisions which shall remain in full force and effect.
17. Grantor affirms that there are no adverse occupants of said land; that there are no unrecorded options to purchase, sales contracts or lease agreements outstanding affecting said property; that there have been no improvements made thereon during the past 130 days for which a Mechanic's or Materialmen's lien may be filed; that there are no improvement district charges levied against the property; and that no roads or streets traverse the property.
18. Grantor agrees to invoke substantially similar restrictions in all subsequent conveyances.
19. These restrictions shall be covenants running with the land and shall be binding upon the Grantee, its successors and assigns, and shall be in full force and effect for twenty-five (25) years from the date of this Deed.

ECONOMIC DEVELOPMENT ALLIANCE FOR JEFFERSON COUNTY, ARKANSAS
510 MAIN  P O Box 5069
PINE BLUFF, AR 71611-5069
(870) 535-0110  FAX (870) 535-1643

Utilities

Electric:

Name of Utility: Entergy Arkansas
Contact Person(s): Bentley Story or Chris Murphy
Address: 425 West Capitol Ave., Suite 2700
City, State, Zip: Little Rock, AR 72201
Phone: 501-377-4089 or 501-377-4467
Email: wstory1@entergy.com or cmurph4@entergy.com
Service and Proximity to Site: Distribution and transmission level voltage is adjacent to the site.

Natural Gas:

Name of Utility: Summit Utilities
Contact Person(s): Chauncey Taylor or Neill Linebarier
Address: P.O. Box 751
City, State, Zip: Little Rock, AR 72203
Phone: 501-377-4557 or 501-749-7189
Email: ctaylor@summitutilities.com or mlinebarier@summitutilities.com
Service and Proximity to Site: 6", 4" and 2" mains on property: 45 to 245 psi

Water:

Name of Utility: Liberty Utilities
Contact Person(s): Tony Penna, VP Water
Address: 1100 State Street
City, State, Zip: Pine Bluff, AR 71601
Phone: 870.727.9456 or 760.628.5812
Email: tony.penna@libertyutilities.com
Service and Proximity to Site: 12" mains: 60 psi: 500,000-gallon elevated storage



Utilities

Sewer:

Name of Utility: Pine Bluff Wastewater Utility
Contact Person(s): Ken Johnson
Address: 1520 South Ohio Street
City, State, Zip: Pine Bluff, AR 71601
Phone: 870-535-6603
Email: ken@pbwastewater.com
Service and Proximity to Site: Sanitary – 12" and 10" laterals to 24" and 27" trunk lines

Telecommunications:

Name of Utility: AT&T
Contact Person(s): Kevin Varner, Area Manager
Address: 220 Prospect Avenue
City, State, Zip: Hot Springs, AR 71901
Phone: 501-321-3200
Email: Kevin.varner@att.com
Service and Proximity to Site: AT&T network adjacent to the site can be expanded to provide a full range of AT&T Voice and Data products via fiber or copper solutions.

Rail:

Name of Utility: Union Pacific
Contact Person(s): Harun Kiani
Address: 1400 Douglas St., STOP 1380
City, State, Zip: Omaha, NE 68179
Phone: Office 402-544-3759, cell 402-672-7308
Email: harun.kiani@up.com
Service and Proximity to Site: Rail at site. A spur would be required for specific customer needs.

Taxes

Local Sales Tax Rates: City = 2.25%
County = 1.25%
State = 6.5%

Property Tax Rates (Real, Personal) and Methods of Assessment: Assessment ratio for real property is 20% of current market value.
Total millage rate is 61.70.
Example:
\$10,000,000 value x .20 = \$2,000,000
\$2,000,000 x 0.06170 (millage) = \$123,400 annual property tax

State Taxation Summary: The Arkansas Economic Development Commission taxation report can be found on the AEDC web site at https://info.arkansasedc.com/download-taxation-economic-report?_gl=1*ks2mkk*_gcl_au*NzE4MDcyNzkxLjE2OTQ0NDIwNjc.
A copy of the 2023 report is included as reference as attachment T-1."



Maps

The following maps are provided as attachment M-1:

- Transportation, Regional
- Transportation, Immediate
- Aerial
- Topographic
- Elevation Contours
- FEMA Flood Hazard
- National Wetlands Inventory
- Pipeline Infrastructure
- Entergy's Electrical Infrastructure
- Local Utilities and Surrounding Uses

DISCLAIMER

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